



424 N. Sappington Road Glendale, Missouri 63122 (314) 965-3600 fax (314) 965-4772

APPLICATION FOR ARCHITECTURAL REVIEW BOARD

APPLICATION DATE 12/6/22 DATE OF ARB MEETING 1/23 ESTIMATED COST \$600,000

PROJECT ADDRESS 928 Chelsea GLENDALE, MO 63122

NAME OF PROPERTY OWNER Andi Aliperti PHONE NUMBER (314) 960-5239

CONTRACTOR (NAME) FM Design Build PHONE NUMBER (314) 619-8043

CONTRACTOR ADDRESS 215 Parkhurst Terrace Ln Webster Groves MO

ARCHITECT (NAME) FM Architecture PHONE NUMBER (314) 619-8043

ARCHITECT ADDRESS 215 Parkhurst Terrace Ln Webster Groves MO

DETAILED DESCRIPTION OF WORK BEING PROPOSED: Demolish existing residence

and construct new single family home

FLOOR AREA RATIO 35% (FAR = Floor area divided by total area of lot. Floor area includes all areas provided with heat and/or air conditioning. All living space with ceiling heights of sixteen (16) feet or greater shall be counted at 200%. Attached garages shall be counted at 50%. Exclude any finished or unfinished basement, a detached garage, and any unenclosed porch). $(2,416 + 214) / 7,500 = 35\%$

TOTAL FLOOR AREA OF NEW CONSTRUCTION (SQ. FT.) 2,416

TOTAL FLOOR AREA OF EXISTING STRUCTURE (SQ. FT.) 0

TOTAL SQ. FT. OF LOT 7,500 WIDTH AND DEPTH OF LOT (FT.) 50X150

HEIGHT OF STRUCTURE 32'-9" NUMBER OF STORIES 1.5

ESTIMATED COMMENCE DATE 1/31/2023 EST. COMPLETION DATE 9/1/2023

Each application shall be accompanied with payment of a fee as follows:

Addition or Accessory Structure: \$150.00

New Home: \$200.00

Applications must also include 10 copies of the following items collated into individual packets. Packets not collated may be accepted for scheduling purposes, but will be returned to applicants for collation and are due no later than 12:00 p.m. one week prior to the scheduled ARB meeting. (Please check each item included):

(CHECKLIST ON REVERSE SIDE)

- 1. Existing and Proposed plot plan. Existing and finished or proposed contours to include property boundaries, setbacks and existing structures, and calculated FAR. The City reserves the right to request CAD files or any other information that may be needed to verify that FAR, setbacks, and other measurements are within required limits.
- 2. The location of the current and proposed impervious coverage (must include before and after lot drainage calculations).
- 3. The location of all downspouts and drainage pipes indicating where runoff will be taken. Differential runoff should be captured by a storm water system.
- 4. Proposed landscaping plan. Please see attached Landscape Plan Checklist for further detail. Trees in the public right-of-way must be protected with a fence, frame, or box if they are proximity of any excavation or construction. This “tree protection zone” must be indicated on the plans.
- 5. Floor plans to scale for all proposed structures.
- 6. Color photos of existing property and neighboring properties. For rear additions, include photos of rear yard and neighboring rear yards.
- 7. Provide building elevation of each face of structure to scale. For additions include full elevations of existing structures. Include a color elevation of at least one side of structure.
- 8. Provide information on type of materials that will be used on exterior façade of proposed structure. Provide at least one colored elevation to scale.



SIGNATURE OF APPLICANT

12-6-2022

DATE

LANDSCAPE PLAN CHECKLIST

The Architectural Review Guidelines, adopted by Ordinance 3-14, August 4, 2014, require Applicants to submit a landscape plan. The following checklist sets forth what must generally be included in the Applicant's submission to fulfill the requirement to submit a landscape plan:

- 1. Project title listing project name, owner name and name of firm or individual preparing the plan.
- 2. Scaled base plan using current information from the site development plan depicting existing and proposed grades, and showing final arrangements of all buildings and structures.
- 3. Location of all lot lines, building setbacks, and easements as depicted on the overall site plan.
- 4. North arrow.
- 5. Graphic and Written Scale.
- 6. Graphic legend depicting existing vegetation and proposed conditions.
- 7. Location of all improvements such as walks, patios, driveways, and walls shown on the site development plan.
- 8. Location of all existing and proposed utilities and sewers.
- 9. Location of all proposed sediment control devices.
- 10. Graphic depiction of all existing trees including location, types and caliper inch as measured at a Diameter Breast Height (DBH) of 4.5 feet above grade.
- 11. Graphic depiction of the accurate drip line canopy of all existing trees showing the extent of the critical root zone.
- 12. Clear designation and tabulation of all existing trees to be saved or preserved, removed or impacted.
- 13. Proposed tree protection and preservation measures for all saved and impacted trees depicted on plan.
- 14. Graphic depiction and plant schedule of all proposed trees to be planted including location, species and caliper inch as measured at a DBH of 4.5 feet above grade.
- 15. Graphic depiction and plant schedule of all proposed landscape plantings, shrubs, lawn areas and groundcovers.
- 16. Graphic depiction indicating limits of ground disturbance and all associated areas of lawn to be seeded or sodded upon project completion.



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ARCHITECTURAL REVIEW GUIDELINES

Adopted by Ord. 03-14, August 4, 2014

BACKGROUND

The City of Glendale has always prided itself in offering high quality housing opportunities to preserve architectural integrity of housing by assuring compatibility with existing neighborhood and to preserve green space. In order to assure that new construction meets high quality standards and is in general conformity with the style and design of surrounding structures, the Architectural Review Board considers all exterior aspects of a structure and its location.

In reviewing plans, the Architectural Review Board will consider several criteria including but not limited to

- the project's impact on the flow of water runoff from the property;
- context, style, scale and proportion (including floor area ratio);
- type, quality and color of materials;
- compatibility with the period and detail of neighborhood homes; and
- landscape plans.

Redevelopment of residential properties has accelerated dramatically in virtually all neighborhoods over the past several years. It is important to assure that the quality of construction remains at a high level.

APPLICATION REQUIREMENTS & ARCHITECTURAL GUIDELINES

Applications for review by the Architectural Review Board shall include the following materials:

- detailed site plan accurately depicting existing conditions and the proposed project, including property boundaries, setbacks, existing and proposed impervious surface, and pre- and post-construction contours;
- calculation of the change between existing and proposed impervious surface and impact on stormwater runoff from the subject property;
- elevation drawing of each face of the structure(s) at 1/4" = 1' scale (one copy in color), including information on all exterior finish materials;
- color photographs of existing property and neighboring homes;
- floor plans (1/4" = 1' scale), with calculations of existing and proposed floor area ratio; and
- landscape plan, including location and size of existing and proposed trees.

Any application for construction of a new dwelling unit, a home addition of more than 1,000 sq. ft., a home addition of multiple stories or adding a second story, an accessory structure greater than 750 sq. ft., or an accessory structure of more than one story shall include plans sealed by a Missouri registered design professional. City staff reserves the right to reject as incomplete any application or plan that does not include required information, does not provide sufficient detail or is improperly scaled.

I. FRONT ENTRY/FRONT YARD GARAGES

Front entry/front yard garages have been a popular architectural feature in many communities for several years. However preservation of, and respect for, existing architectural styles requires that such garages are consistent with the character of the surrounding area and that they do not result in a significant loss of green space.

A. Garages

1. Front entry, basement level garages shall not be allowed unless conditions of the property dictate consideration.
2. The width of an attached garage with an entrance facing the front yard shall not exceed 35% of the overall width of the façade of the principal structure (inclusive of the garage), unless the applicant can demonstrate that extraordinary design measures have been taken to ensure neighborhood compatibility.
3. The front face of an attached garage shall not project more than 10 feet beyond the front face of the residential portion of the house.
4. Only one sidewall of the residential portion of the structure shall extend beyond the sidewall of the attached garage.
5. No more than two garage doors (single car width) may be installed facing any one street for new residential construction. Should the applicant deem three doors necessary, the applicant must demonstrate that all other possibilities have been examined and every attempt to mitigate the impact must be taken. Garage doors should be compatible with the structures.

B. Front Entry Doors

The front entry door to a building should be located in such a manner as to face the front yard and street rather than face the side or rear yard. Where the lot size or other features necessitate a side facing primary entry, the applicant must demonstrate that such design is necessary and compatible with the adjacent neighborhood.

II. SITE WORK

Landscaping and related provisions are an important consideration when reviewing new construction plans. It is increasingly important to preserve and enhance the trees, landscaping and the topography already in existence.

A. Topography and drainage

Every attempt shall be made to preserve the topography of the property. If the topography must be altered to accommodate construction, the plan must contain specific information regarding the proposed topography change and its impact on the flow of drainage. Storm water shall not be discharged from the subject property in a manner that negatively impacts adjoining properties.

Any application for construction of a new dwelling unit shall include a site plan with existing and proposed contours, pre- and post-development drainage calculations, and design measures to address storm water runoff prepared by a registered professional engineer.

B. Tree Preservation Plan

The preservation of mature trees on lots is encouraged. The applicant shall be required to submit a plan showing trees and other significant plant material as they currently exist and how they will be preserved. The Architectural Review Board will approve the landscape plan, which maximizes landscaping on the site.

If preservation of all existing trees is not possible, a tree replacement plan on a one-to-one basis utilizing tree species similar to those displaced will be required. Any viable tree to be removed measuring greater than 1 foot caliper should be replaced on site. The overall measurement of all replacement trees must equal the same caliper as those removed.

Scrub trees, dead trees or trees, which are diseased in excess of 50% will not be considered viable trees needing replacement, but must appear on the landscape plan and be designated as scrub, dead, or diseased.

C. Impervious Coverage

In order to preserve green space, the Architectural Review Board shall consider the percentage of the total lot which may be covered by impervious material. Impervious materials shall include, but not be limited to, surfaces such as tile and shingled roof surfaces, compacted sand, lime rock, clay asphalt, concrete, driveways, retaining walls, stair wells, stairways, walkways, pools, decks and patios at grade level and other similar structures. Applicants are encouraged to consider using new water absorbing materials such as permeable pavement in place of impervious materials.

III. LIMITATIONS OF SIZE OF STRUCTURES

A. In the R-1 Zoning District,

1. Every lot shall have an area of not less than ten thousand (10,000 square feet) and a minimum width of 80 feet; except, that if a lot of record has less area than herein required, the lot may be used for a single family dwelling.
2. Residential construction shall be within the building envelope of a lot as defined by the setback rules contained in Section 400.140 D of the R-1 Zoning District regulations.

B. In the R-2 Zoning District

1. Every lot shall have an area of not less than seven thousand five hundred (7,500) square feet, and a minimum width at the building line of sixty-five feet; except, that if any lot of record which has less area than herein required, that lot may be used for a single family dwelling.
2. Residential construction shall be within the building envelope of a lot as defined by the setback rules contained in Section 400.190D of the R-2 Zoning District Regulations.

C. On all lots zoned R-1 or R-2, the floor area of residential dwellings shall be limited by the following schedule of floor area ratios (FAR), as defined in Section 400.010 of the Zoning Regulations, except when an applicant can demonstrate that the subject property presents unique circumstances and the applicant has taken extraordinary design measures to ensure neighborhood compatibility

1. For lots of 10,000 square feet or less, the maximum floor area ratio (FAR) shall be 0.35.
2. For lots greater than 10,000 square feet but less than 20,000 square feet, the maximum FAR shall be 0.30. Notwithstanding, primary structures with a floor area up to 3,500 square feet are permitted.
3. For lots of 20,000 square feet or greater, the maximum FAR shall be 0.25. Notwithstanding, primary structures with a floor area up to 6,000 square feet are permitted.

IV. OTHER ARCHITECTURAL CONCERNS

The architectural details associated with a construction project are often a primary factor in defining the quality of that development and its compatibility with neighboring properties.

V. NEIGHBORHOOD CONCERNS

A. Height/Density Relationships

The primary concern of neighbors related to new construction is the height and density of the proposed structure compared to adjacent residences and the design of the development as it relates in style, size and context to the surrounding neighborhood. Each owner/architect is required to submit a colored *elevation* at a 1/4inch =1 foot scale depicting the proposed structure in a street view, accurately depicting the height, width, density and mass in relation to neighboring structures. The Architectural Review Board also reserves its right to request color perspectives or three-dimensional models, if needed, on a case-by-case basis.

The Architectural Review Board will consider the density of construction based on the construction size limitations using floor area ratio as described above and defined in Section 400.010 of the Zoning Code.

B. Exterior Facades

Another primary concern of neighbors is the material used on the exterior facade of structures newly constructed. Materials used in an existing exterior of the highest standard possible. Each applicant is required to submit information indicating the finish materials that will be used on exterior facades of the proposed structure.

C. Architectural Features

Finally, neighbors are concerned with the appropriateness of Architectural features in new buildings; the extent to which the building or structure would be harmonious with or congruous to the neighborhood. Toward that goal, applicant shall submit elevations and information on design elements proposed to harmonize proposed structure with neighborhood.

D. Project Compliance

Construction of a project in a manner that does not comply with the Architectural Review Board order approving the application may result in issuance of a stop-work order, prosecution for violation of the City Code, refusal to issue a final occupancy permit and the holding of escrow funds paid to the City.

VI. MODIFICATIONS

In instances where an applicant can demonstrate just cause in relation to matters of aesthetics, and not structural integrity, the Architectural Review Board shall have the authority to approve a modification.

VII. NOTIFICATION OF ADJOINING PROPERTY OWNERS

The property owners adjoining the residence in which an application for review has been submitted to the Architectural Review Board will be notified of said application, in the event, that they would like to comment to the Board on said application.



928 Chelsea Glendale, MO 63122

LOCATION MAP (NTS):



SITE INFO:
 ANDREA ALIPERTI
 DATED MAY 12, 2021
 D.B. 20682 PG. 2524
 LOC# 22L11033
 #928 CHELSEA AVE.
 7,507 SQ. FT. / 0.17 AC. +/-

ZONING INFO:
 R-2 SINGLE FAMILY RESIDENTIAL
 FRONT: 30' SETBACK (27' PROPOSED)
 REAR: 30'
 SIDE: 7'
 HEIGHT: 35' / 2 1/2 STORIES

BENCHMARK:

The horizontal and vertical location data shown on this survey are based upon positional solutions derived from Real-Time Kinematic (RTK) Global Positioning System (GPS) observations processed by the Missouri Department of Transportation's (MoDOT) Continuously Operating Reference Stations (CORS) GNSS/GPS VRS network. The bearings shown are derived from coordinates based on Missouri State Plane Coordinate System (East Zone) NAD 83. The vertical datum is based upon NAVD 88.

ALL OF LOT 7 IN BLOCK 2 OF "CHELSEA"
 CITY OF GLENDALE
 ST. LOUIS COUNTY, MISSOURI

PLOT PLAN PREPARED BY:

WEIHE ENGINEERS (314) 343-2211
 NOTES:

- FINISHED GRADES AT THE BUILDING SHALL BE A MINIMUM OF 6-INCHES BELOW TOP OF FOUNDATION FOR WOOD FRAME AND 4-INCHES BELOW FOR WOOD FRAME WITH BRICK VENEER.
- ALL WOOD FRAMING MEMBERS THAT REST ON TOP OF THE FOUNDATION THAT ARE LOCATED LESS THAN 8-INCHES ABOVE THE EXPOSED GROUND, AND ALL OTHER WOOD LESS THAN 6-INCHES FROM THE GROUND, SHALL BE PRESSURE-TREATED IN ACCORDANCE WITH SECTION R319.1.
- GRADE SHALL SLOPE AWAY FROM THE FOUNDATION BY 6-INCHES (DROP) OVER 10- FEET (HORIZONTAL), OR TO A SWALE.
- FOUNDATION FOOTINGS SHALL BE CONSTRUCTED TO MAINTAIN MINIMUM 30-INCH DEPTH OF EARTH COVER, OR AS REQUIRED BY LOCAL BUILDING CODES.
- ELEVATIONS ARE SHOWN (FOR EXAMPLE) AS:
 - 615.00 = EXISTING ELEVATION
 - 627.28 = PROPOSED ELEVATION

EXISTING IMPERVIOUS:

HOUSE = 870 SF
 SHEDS = 190 SF
 FRONT PORCH AND WALK = 138 SF
 DRIVE = 477 SF
 TOTAL = 1,675 SF

NOTE: THIS IS NOT A SURVEY AND DOES NOT MEET THE "MISSOURI STANDARDS FOR PROPERTY BOUNDARY SURVEYS" IN EFFECT AS OF THE DATE OF THIS PLOT PLAN.

MASSMANN SURVEYORS (A WEIHE ENGINEERS COMPANY)

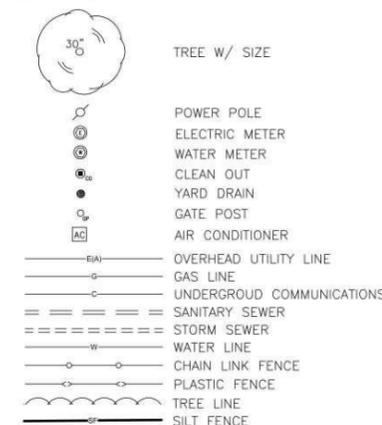
MO REG. 2019038947

PLS INFO

ABBREVIATIONS:

- N NORTH
- S SOUTH
- E EAST
- W WEST
- SF SQUARE FEET
- AC ACRES
- BK BOOK
- PG PLAT BOOK
- PG PAGE
- RES RESIDENCE
- # NUMBER
- ASPH ASPHALT
- CONC CONCRETE
- PVMT PAVEMENT
- FF FINISHED FLOOR
- PVC POLYVINYL CHLORIDE
- VCP VITRIFIED CLAY PIPE

LEGEND:

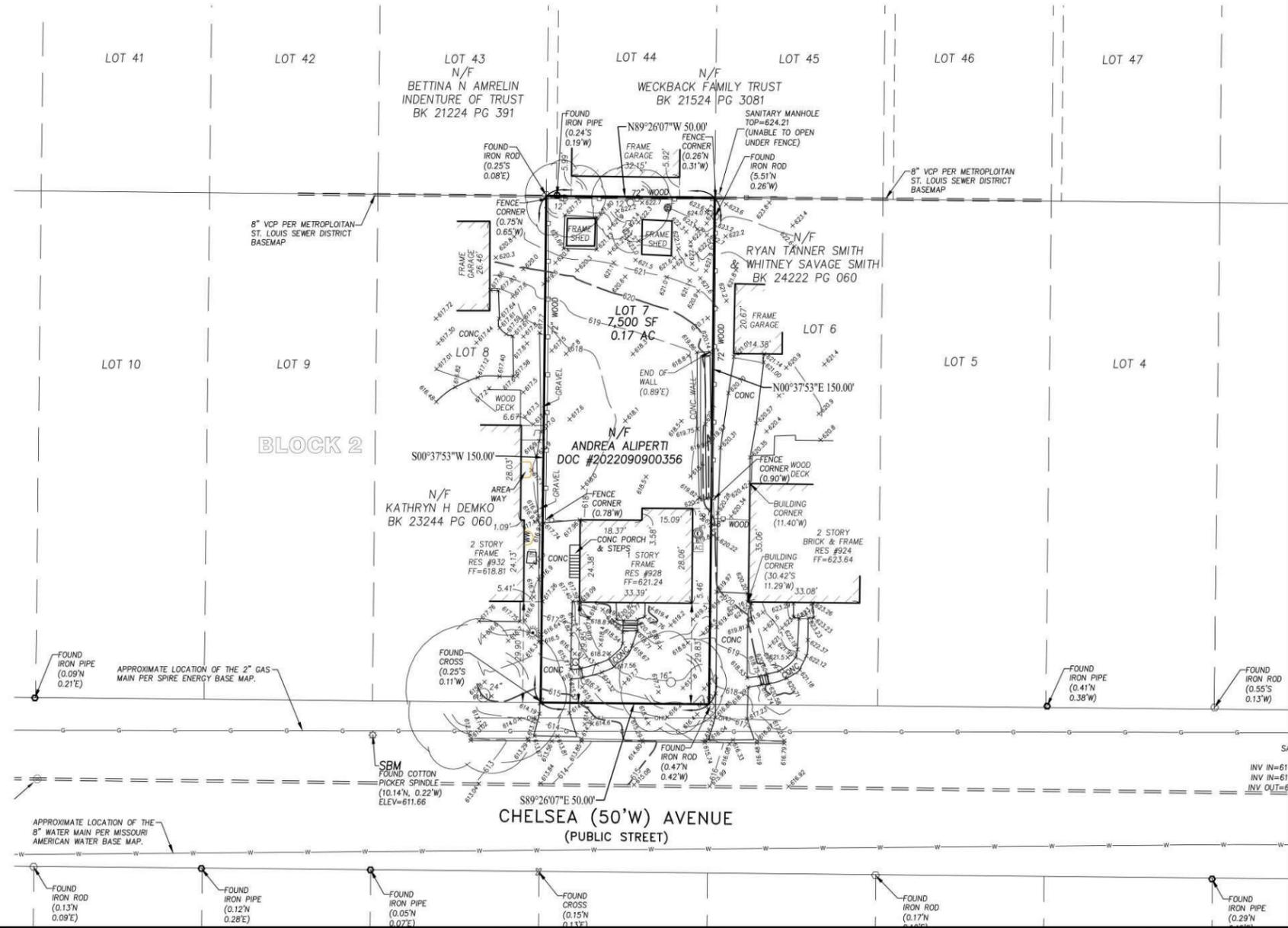


UTILITIES NOTE:

UTILITIES WERE TAKEN FROM AVAILABLE MAPS AND FIELD OBSERVED MARKINGS AT TIME OF FIELD VISIT. LOCATIONS ARE APPROXIMATE AND SHOULD BE FIELD VERIFIED PRIOR TO ANY CONSTRUCTION.

EXISTING UTILITIES NOTES:

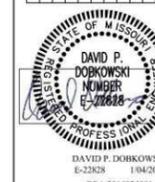
- DESTRUCTION OF EXISTING UTILITY TAPS SHALL BE IN ACCORDANCE WITH EACH UTILITY PROVIDER'S SPECIFICATIONS, INCLUDING FEDERAL, STATE, AND LOCAL REGULATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING AND IDENTIFYING ALL UTILITIES AND PERFORMING WORK IN A SAFE AND RESPONSIBLE MANNER.
- THE SERVICEABILITY OF ALL UTILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR / HOMEOWNER. WEIHE ENGINEERS ARE NOT RESPONSIBLE FOR ANY REQUIREMENTS ASSOCIATED WITH EXISTING OR PROPOSED UTILITY STUDIES, USE RATES, FIRE PROTECTION, CONNECTION FEES, OR ANY OTHER WORK NOT SPECIFICALLY MENTIONED HEREIN.



14528 S. Outer 40 Road
 Suite 444
 Chesterfield, Missouri 63017
 weithe.net
 314 | 343 - 2211
 800 | 452 - 6408
 ALLAN H. WEIHE, P.E., L.S., FOUNDER

WEIHE ENGINEERS
 Land Surveying | Civil Engineering
 Landscape Architecture
Build with confidence.

PROJECT NO.	DWG NAME	DESIGNED BY	DRAWN BY	CHECKED BY	DATE
W220669	W220669-C100 existing	DPD	PAS	DPD	10/26/2022



DAVID P. DOBKOWSKI
 E-2328 1/04/2021
 COA 2016034881

RESIDENTIAL SITE PLAN
 928 CHELSEA AVENUE GLENDALE, MISSOURI 63122
 W220669-C100 EXISTING - EXISTING

PREPARED FOR: SHEET NO. **1**
 PROJECT NO. W22.0669

811
 Know what's below.
 Call before you dig.
 Within Missouri Call 811 or 800-DIG-RITE
 24 Hours a Day, 7 Days a Week.
 PER MISSOURI STATE LAW IT IS AGAINST THE LAW TO EXCAVATE WITHOUT NOTIFYING THE UNDERGROUND LOCATION SERVICE THREE (3) WORKING DAYS BEFORE COMMENCING WORK.

LOCATION: G:\2022\W220669 STA\Engineering\asph\condm\W220669-C100 existing.dwg
 LAYOUT: Existing
 PLOTTED BY: Schepert

LOCATION MAP (NTS):



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 ANDREA ALIPERTI
 DATED MAY 12, 2021
 D.B. 20682 PG. 2524
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 FRONT: 30' SETBACK (27' PROPOSED)
 REAR: 30'
 SIDE: 7'
 HEIGHT: 35' / 2 1/2 STORIES

PROPOSED IMPERVIOUS:

HOUSE = 2,203 SF
 COVERED PATIO = 151 SF
 FRONT WALK = 130 SF
 DRIVE = 790 SF
 TURNAROUND = 756 SF
 TOTAL = 4,030 SF
 GREEN SPACE = 3,470SF (46%)

BENCHMARK:

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PAVEMENT JOINT LEGEND:

C = TOOLED CONTRACTION JOINT
 E = FULL-DEPTH EXPANSION JOINT
 DE = DOWELED EXPANSION JOINT

SANITARY SEWER AND UTILITY NOTES:

1. PROPOSED WATER SERVICE CONNECTION IS A 1 1/2" TAP.
2. THE CONTRACTOR SHALL INSTALL HUNG SEWER PLUMBING FOR POSITIVE GRAVITY FLOW TO THE SANITARY SEWER TRUNK LINE.
3. THE EXISTING SANITARY LATERAL CONNECTION TO THE TRUNK LINE IS ASSUMED. THE CONTRACTOR SHALL VERIFY ITS LOCATION AND SUITABILITY FOR CONNECTION.
4. UTILITY CONNECTION LOCATIONS AND COORDINATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

ABBREVIATIONS:

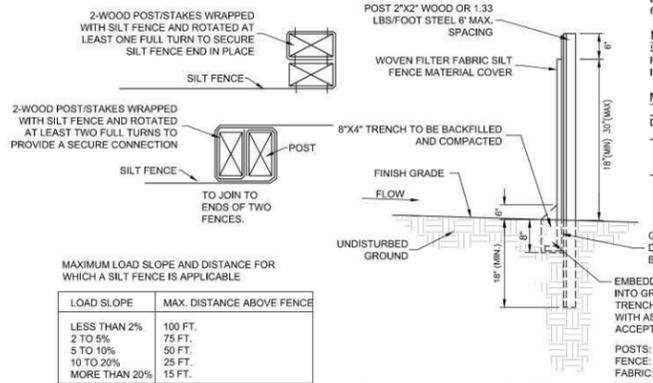
N NORTH
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MASSMANN SURVEYORS (A WEIHE ENGINEERS COMPANY)

MO REG. 2019038947

PLS INFO



INSTALLATION

- PREFABRICATED SILT FENCE
1. LAY OUT THE LOCATION OF THE FENCE SO THAT IT IS PARALLEL TO THE CONTOUR OF THE SLOPE AND AT LEAST 10 FEET BEYOND THE TOE OF THE SLOPE TO PROVIDE A SEDIMENT STORAGE AREA. TURN THE ENDS OF THE FENCE UP SLOPE SUCH THAT THE POINT OF CONTACT BETWEEN THE GROUND AND THE BOTTOM OF THE FENCE END TERMINATES AT A HIGHER ELEVATION THAN THE TOP OF THE FENCE AT ITS LOWEST POINT.
 2. EXCAVATE AN EIGHT-INCH DEEP BY FOUR-INCH WIDE TRENCH ALONG THE ENTIRE LENGTH OF THE FENCE LINE. INSTALLATION BY FLOWING IS ALSO ACCEPTABLE.
 3. INSTALL THE SILT FENCE WITH THE FILTER FABRIC LOCATED ON THE UP-SLOPE SIDE OF THE EXCAVATED TRENCH AND THE SUPPORT POSTS ON THE DOWN-SLOPE SIDE OF THE TRENCH.
 4. DRIVE THE SUPPORT POSTS AT LEAST 18 INCHES INTO THE GROUND, TIGHTLY STRETCHING THE FABRIC BETWEEN THE POSTS AS EACH IS DRIVEN INTO THE SOIL. MINIMUM OF 12 INCHES OF THE FILTER FABRIC SHOULD EXTEND INTO THE TRENCH.
 5. LAY THE LOWER FOUR INCHES OF FILTER FABRIC ON THE BOTTOM OF THE TRENCH AND EXTEND IT TOWARD THE UP-SLOPE SIDE OF THE TRENCH.
 6. BACKFILL THE TRENCH WITH SOIL MATERIAL AND COMPACT IT IN PLACE.

NOTE: IF THE SILT FENCE IS BEING CONSTRUCTED ON-SITE, ATTACH THE FILTER FABRIC TO THE SUPPORT POSTS AND ATTACH WOODEN LATH TO SECURE THE FABRIC TO THE POSTS. ALLOW FOR AT LEAST 12 INCHES OF FABRIC BELOW GROUND LEVEL. COMPLETE THE SILT FENCE INSTALLATION, FOLLOWING STEPS 1 THROUGH 6 ABOVE.

MAINTENANCE

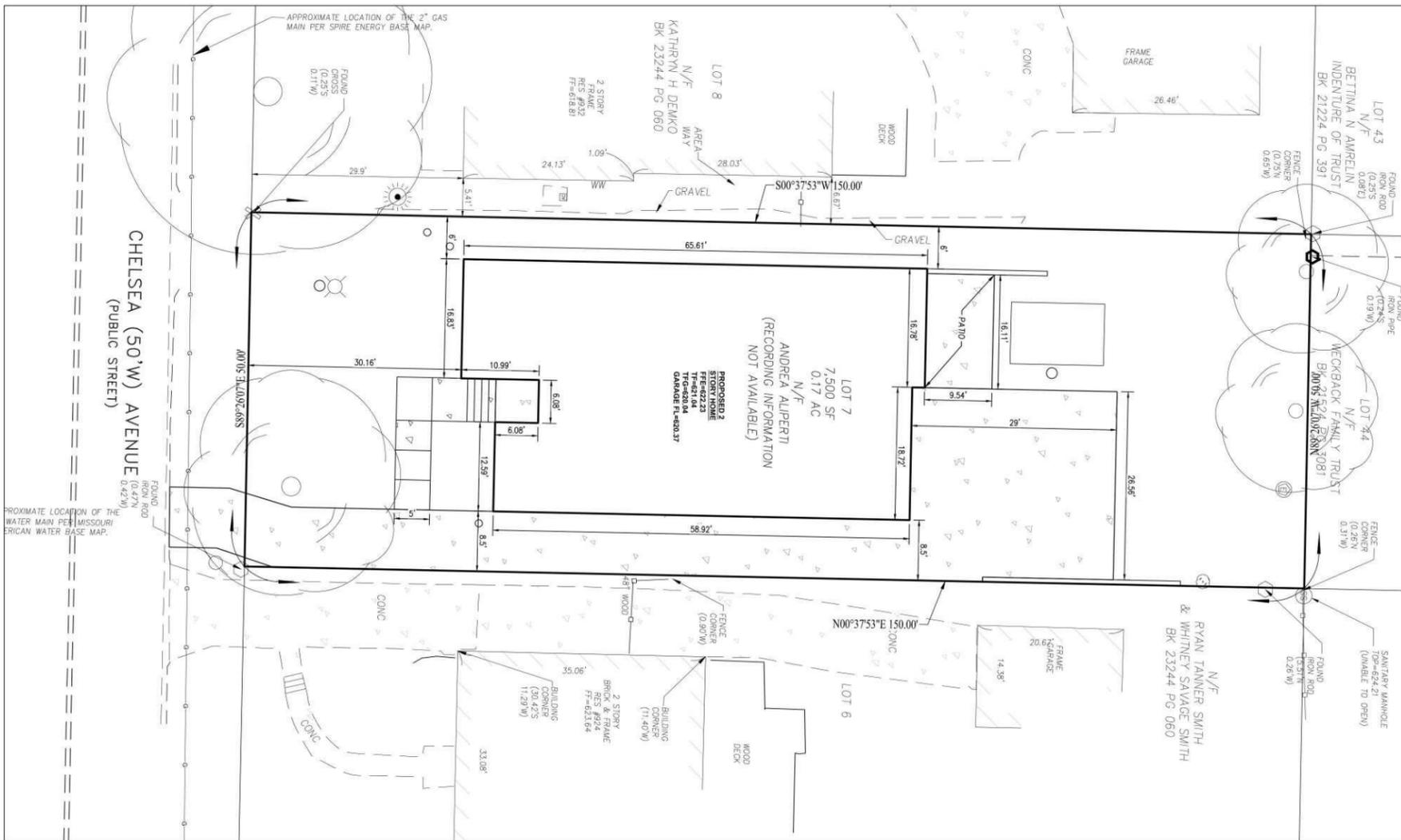
- INSPECT WITHIN 24 HOURS OF A RAIN EVENT AND AT LEAST ONCE EVERY SEVEN CALENDAR DAYS.
- IF FENCE FABRIC TEARS, STARTS TO DECOMPOSE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED PORTION IMMEDIATELY. NOTE: ALL REPAIRS SHOULD MEET SPECIFICATIONS AS OUTLINED WITHIN THIS MEASURE.
 - REMOVE DEPOSITED SEDIMENT WHEN IT IS CAUSING THE FILTER FABRIC TO BULGE OR WHEN IT REACHES ONE-HALF THE HEIGHT OF THE FENCE AT ITS LOWEST POINT. WHEN CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED, REMOVE THE FENCE AND SEDIMENT DEPOSITS, GRADE THE SITE TO BLEND WITH THE SURROUNDING AREA, AND STABILIZE.

GEOTEXTILE FABRIC LAID ON DOWN SLOPE SIDE AND BOTTOM OF TRENCH

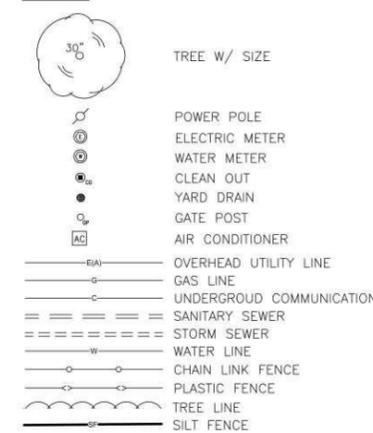
EMBEDDED SILT FENCE MATERIAL MIN. 8" INTO GROUND W/ 4" LAID ALONG BOTTOM OF TRENCH. SOIL SLICING IN ACCORDANCE WITH ASTM D 6462 8.2.2 IS ALSO ACCEPTABLE.

POSTS: STEEL T OR U TYPE, OR 2"x2" HARD WOOD POST
 FENCE: WOVEN WIRE, 14-1/2 GA., 6" MAX. MESH OPENING
 FABRIC: IN ACCORDANCE WITH ASTM D 6461 LATEST EDITION.

SEDIMENTATION/SILT FENCE
 (NO SCALE)



LEGEND:



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3. THE SERVICEABILITY OF ALL UTILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR / HOMEOWNER. WEIHE ENGINEERS ARE NOT RESPONSIBLE FOR ANY REQUIREMENTS ASSOCIATED WITH EXISTING OR PROPOSED UTILITY STUDIES, USE RATES, FIRE PROTECTION, CONNECTION FEES, OR ANY OTHER WORK NOT SPECIFICALLY MENTIONED HEREIN.



SCALE: 1" = 20'



Within Missouri Call 811 or 800-DIG-RITE 24 Hours a Day, 7 Days a Week. PER MISSOURI STATE LAW IT IS AGAINST THE LAW TO EXCAVATE WITHOUT NOTIFYING THE UNDERGROUND LOCATION SERVICE THREE (3) WORKING DAYS BEFORE COMMENCING WORK.

14528 S. Outer 40 Road
 Suite 444
 Chesterfield, Missouri 63017
 weihe.net
 314 | 343 - 2211
 800 | 452 - 6408
 ALLAN H. WEIHE, P.E., L.S., FOUNDER

WEIHE ENGINEERS
 Land Surveying | Civil Engineering
 Landscape Architecture
Build with confidence.

PROJECT NO.	DATE	BY	REVISIONS AND ISSUES
W22.0669			
DWG NAME			
DESIGNED BY			
DRAWN BY			
CHECKED BY			
DATE			



DAVID P. DOBKOWSKI
 E-2328 1/04/2021
 COA 2016034881

RESIDENTIAL SITE PLAN
 928 CHELSEA AVENUE GLENDALE, MISSOURI 63122
 SITE PLAN

PREPARED FOR:
 SHEET NO. **C200**
 PROJECT NO. W22.0669

LOCATION: G:\2021\W220669 STIL\Engineering\asap\conrad\W220669-C200 site.dwg
 LAYOUT: 11/17/2021 11:58:17 AM
 PLOTTED BY: Schepers

LOCATION MAP (NTS):



SITE INFO:
 ANDREA ALIPERTI
 DATED MAY 12, 2021
 D.B. 20682 PG. 2524
 LOC# 22L11033
 #928 CHELSEA AVE.
 7,507 SQ. FT. / 0.17 AC. +/-

ZONING INFO:
 R-2 SINGLE FAMILY RESIDENTIAL
 FRONT: 30' SETBACK (27' PROPOSED)
 REAR: 30'
 SIDE: 7'
 HEIGHT: 35' / 2 1/2 STORIES

BENCHMARK:

The horizontal and vertical location data shown on this survey are based upon positional solutions derived from Real-Time Kinematic (RTK) Global Positioning System (GPS) observations processed by the Missouri Department of Transportation's (MoDOT) Continuously Operating Reference Stations (CORS) GNSS/GPS VRS network. The bearings shown are derived from coordinates based on Missouri State Plane Coordinate System (East Zone) NAD 83. The vertical datum is based upon NAVD 88.

FINISH FLOOR CALCULATION:

FF @ 932 CHELSEA AVE SPOT GRADE @ CENTER OF HOUSE = 623.24
 FF @ 924 CHELSEA AVE SPOT GRADE @ CENTER OF HOUSE = 618.81
 (623.24 + 618.81) / 2 = 621.22'
 ADD 1.0"
 FF=622.22'

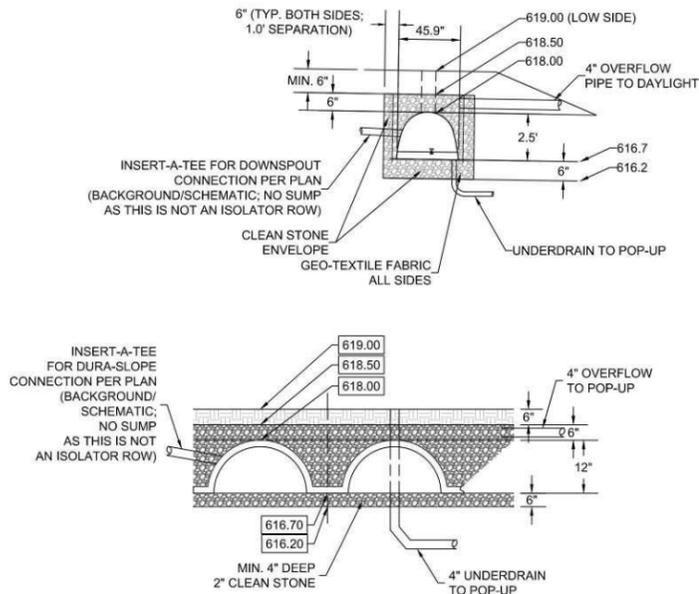
STORMWATER MANAGEMENT:

STORMWATER MANAGEMENT MEASURES ARE DISPLAYED HEREIN.

STORMWATER NOTES:

1. DOWNSPOUTS SHALL DISCHARGE TO 4" PVC PIPES AND DRY WELLS AS SHOWN
2. THE CONTRACTOR SHALL MANAGE STORMWATER RUNOFF AND NOT ALLOW CONCENTRATED FLOW ONTO ADJACENT PROPERTIES.
3. THE CONTRACTOR SHALL LOCATE THE GRAVEL SUMP PUMP TRENCH AT A MINIMUM OF THE DIMENSION SHOWN FROM THE BUILDING AND A MINIMUM OF 10- FEET FROM PROPERTY LINES.

ALL OF LOT 7 IN BLOCK 2 OF "CHELSEA"
 CITY OF GLENDALE
 ST. LOUIS COUNTY, MISSOURI



PLOT PLAN PREPARED BY:

WEIHE ENGINEERS (314) 343-2211

- NOTES:
1. FINISHED GRADES AT THE BUILDING SHALL BE A MINIMUM OF 6-INCHES BELOW TOP OF FOUNDATION FOR WOOD FRAME AND 4-INCHES BELOW FOR WOOD FRAME WITH BRICK VENEER.
 2. ALL WOOD FRAMING MEMBERS THAT REST ON TOP OF THE FOUNDATION THAT ARE LOCATED LESS THAN 8-INCHES ABOVE THE EXPOSED GROUND, AND ALL OTHER WOOD LESS THAN 6-INCHES FROM THE GROUND, SHALL BE PRESSURE-TREATED IN ACCORDANCE WITH SECTION R319.1.
 3. GRADE SHALL SLOPE AWAY FROM THE FOUNDATION BY 6-INCHES (DROP) OVER 10- FEET (HORIZONTAL), OR TO A SWALE.
 4. FOUNDATION FOOTINGS SHALL BE CONSTRUCTED TO MAINTAIN MINIMUM 30-INCH DEPTH OF EARTH COVER, OR AS REQUIRED BY LOCAL BUILDING CODES.
 5. ELEVATIONS ARE SHOWN (FOR EXAMPLE) AS:
 • 615.00 = EXISTING ELEVATION
 • 627.28 = PROPOSED ELEVATION

NOTE: THIS IS NOT A SURVEY AND DOES NOT MEET THE "MISSOURI STANDARDS FOR PROPERTY BOUNDARY SURVEYS" IN EFFECT AS OF THE DATE OF THIS PLOT PLAN.

MASSMANN SURVEYORS (A WEIHE ENGINEERS COMPANY)

MO REG. 2019038947

PLS INFO

INCREASED IMPERVIOUS AREA = 2,355 S.F. (4,030-1,675)
 PROPOSED TREATED AREA = 2,355 S.F.
 PROPOSED TREATED AREA = 2,355 S.F. (REQUIRED)

ROOF = 2,355 SF (2,740 + 577 + 286)
 $(\frac{2355}{3600})(3.54-1.70) = 0.0995$ CFS
 $(0.0995)(60)(20) = 119$ CF
 INSTALL FOUR (4) ADS SC-130 UNITS WITH 8 END CAPS
 ONE CHAMBER TWO END CAPS, TOTAL = 44.5 CF
 TOTAL TREATMENT CAPACITY = 178 CF

EXISTING IMPERVIOUS:

HOUSE = 870 S.F.
 SHEDS = 190 S.F.
 FRONT PORCH AND WALK = 138 S.F.
 DRIVE = 477 S.F.
 TOTAL = 1,675 S.F.

PROPOSED IMPERVIOUS:

HOUSE = 2,203 S.F.
 COVERED PATIO = 151 S.F.
 FRONT WALK = 130 S.F.
 DRIVE = 790 S.F.
 TURNAROUND = 756 S.F.
 TOTAL = 4,030 S.F.

PAVEMENT JOINT LEGEND:

C = TOOLED CONTRACTION JOINT
 E = FULL-DEPTH EXPANSION JOINT
 DE = DOWELED EXPANSION JOINT

ABBREVIATIONS:

- N NORTH
- S SOUTH
- E EAST
- W WEST
- SF SQUARE FEET
- AC ACRES
- BK BOOK
- PG PLAT BOOK
- PG PAGE
- RES RESIDENCE
- # NUMBER
- ASPH ASPHALT
- CONC CONCRETE
- PVMT PAVEMENT
- FF FINISHED FLOOR
- PVC POLYVINYL CHLORIDE
- VCP VITRIFIED CLAY PIPE

LEGEND:

- TREE W/ SIZE
- POWER POLE
- ELECTRIC METER
- WATER METER
- CLEAN OUT
- YARD DRAIN
- GATE POST
- AIR CONDITIONER
- OVERHEAD UTILITY LINE
- GAS LINE
- UNDERGROUND COMMUNICATIONS
- SANITARY SEWER
- STORM SEWER
- WATER LINE
- CHAIN LINK FENCE
- PLASTIC FENCE
- TREE LINE
- SILT FENCE

UTILITIES NOTE:

UTILITIES WERE TAKEN FROM AVAILABLE MAPS AND FIELD OBSERVED MARKINGS AT TIME OF FIELD VISIT. LOCATIONS ARE APPROXIMATE AND SHOULD BE FIELD VERIFIED PRIOR TO ANY CONSTRUCTION.

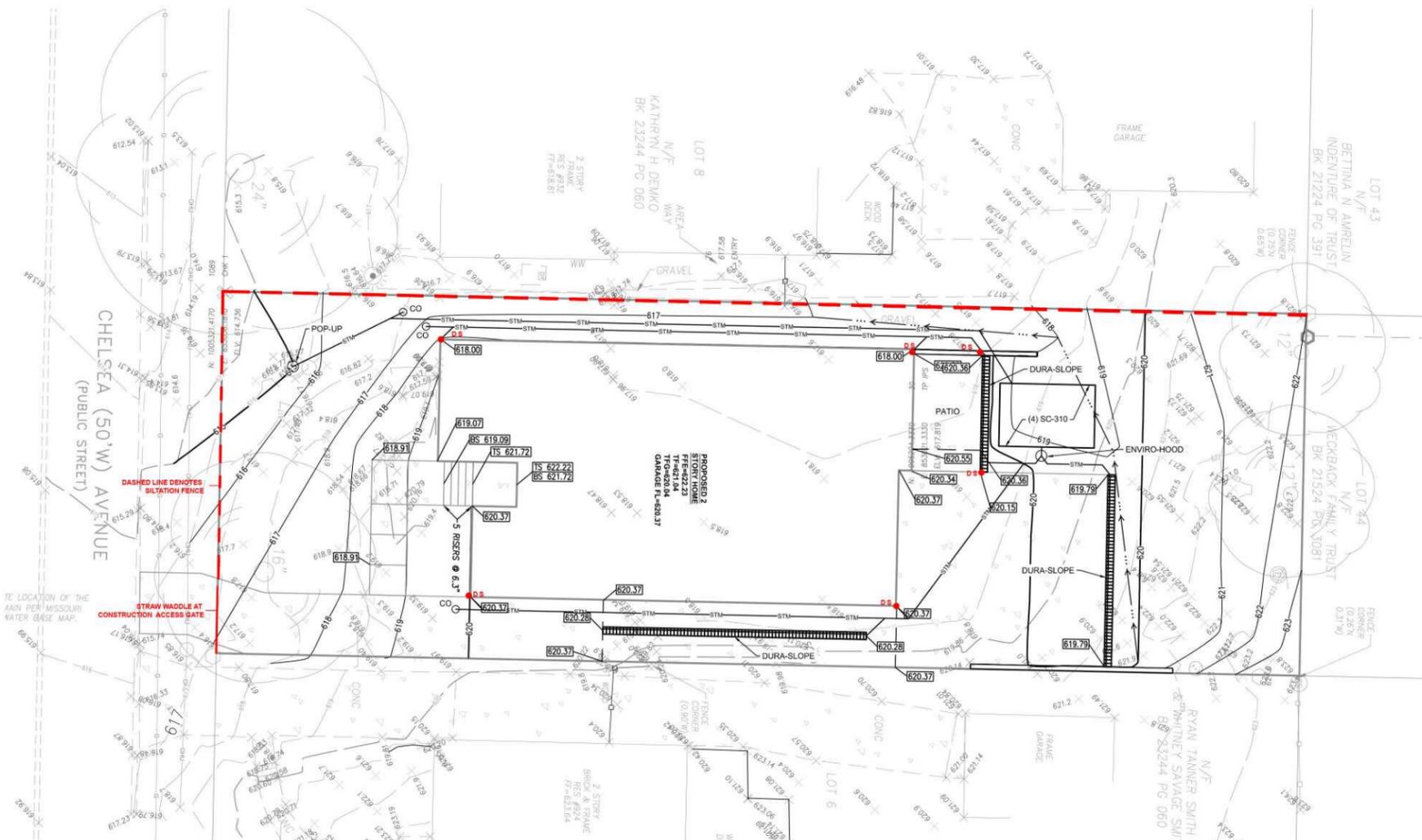
EXISTING UTILITIES NOTES:

1. DESTRUCTION OF EXISTING UTILITY TAPS SHALL BE IN ACCORDANCE WITH EACH UTILITY PROVIDER'S SPECIFICATIONS, INCLUDING FEDERAL, STATE, AND LOCAL REGULATIONS.
2. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING AND IDENTIFYING ALL UTILITIES AND PERFORMING WORK IN A SAFE AND RESPONSIBLE MANNER.
3. THE SERVICEABILITY OF ALL UTILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR / HOMEBUILDER. WEIHE ENGINEERS ARE NOT RESPONSIBLE FOR ANY REQUIREMENTS ASSOCIATED WITH EXISTING OR PROPOSED UTILITY STUDIES, USE RATES, FIRE PROTECTION, CONNECTION FEES, OR ANY OTHER WORK NOT SPECIFICALLY MENTIONED HEREIN.



SCALE: 1" = 20'

PER MISSOURI STATE LAW IT IS AGAINST THE LAW TO EXCAVATE WITHOUT NOTIFYING THE UNDERGROUND LOCATION SERVICE THREE (3) WORKING DAYS BEFORE COMMENCING WORK.

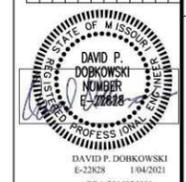


POP-UP EMITTER END SECTION

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PROJECT NO.	DATE	BY	REVISIONS AND ISSUES
W22.0669			
DWG NAME: W220669-C300 grading			
DESIGNED BY: DP			
DRAWN BY: PAS			
CHECKED BY: DP			
DATE: 10/26/2022			

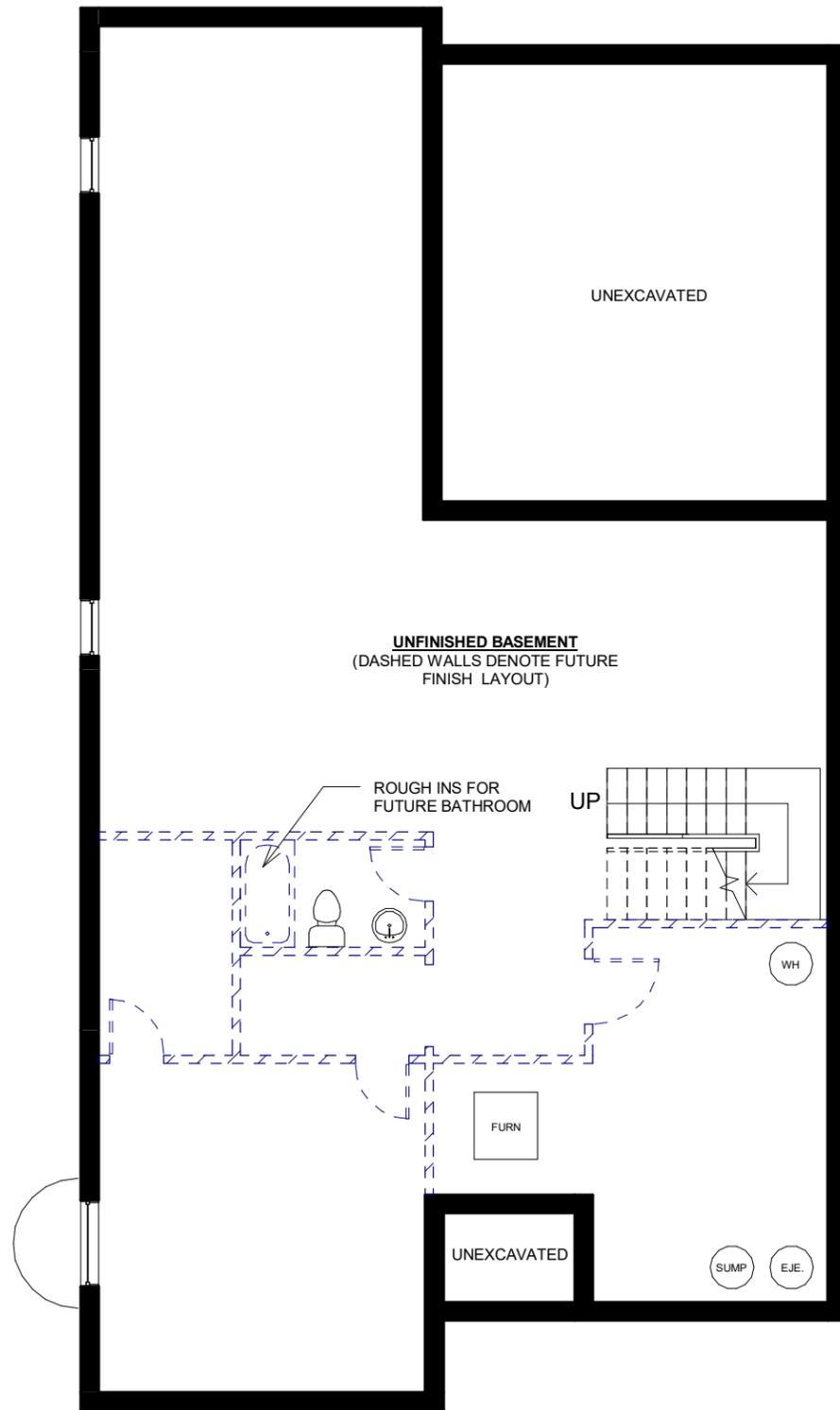


DAVID P. DOBROWSKI
 E-23628 1/04/2021
 COA 2016034881

RESIDENTIAL SITE PLAN
 928 CHELSEA AVENUE GLENDALE, MISSOURI 63122
 GRADING PLAN

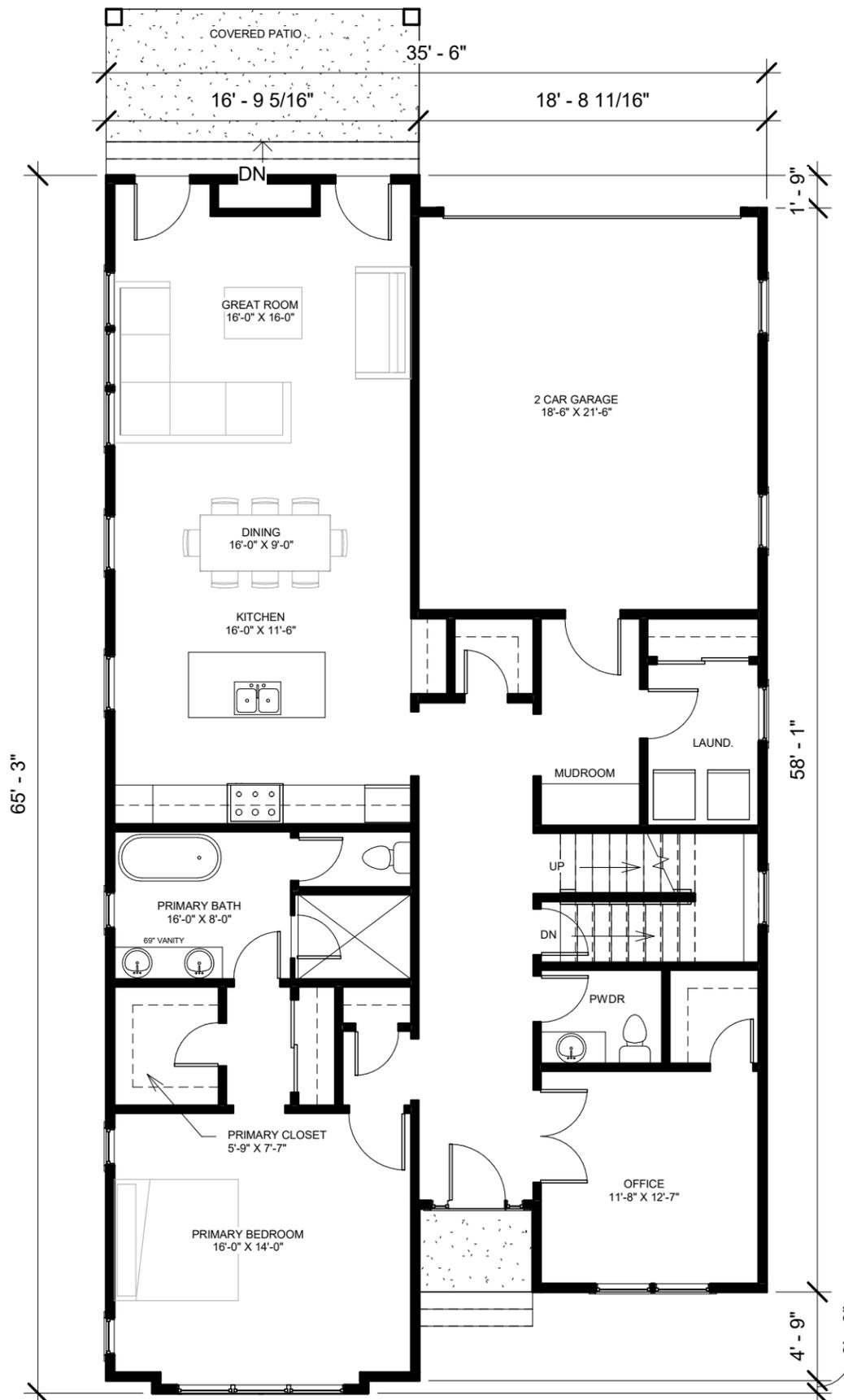
PREPARED FOR: SHEET NO. **C300**
 PROJECT NO. W22.0669

LOCATION: G:\2021\W220669 STA\Engineering\c300\c300 grading.dwg
 DATE: 10/26/2022 11:18 AM
 PLOTTED BY: Schepert



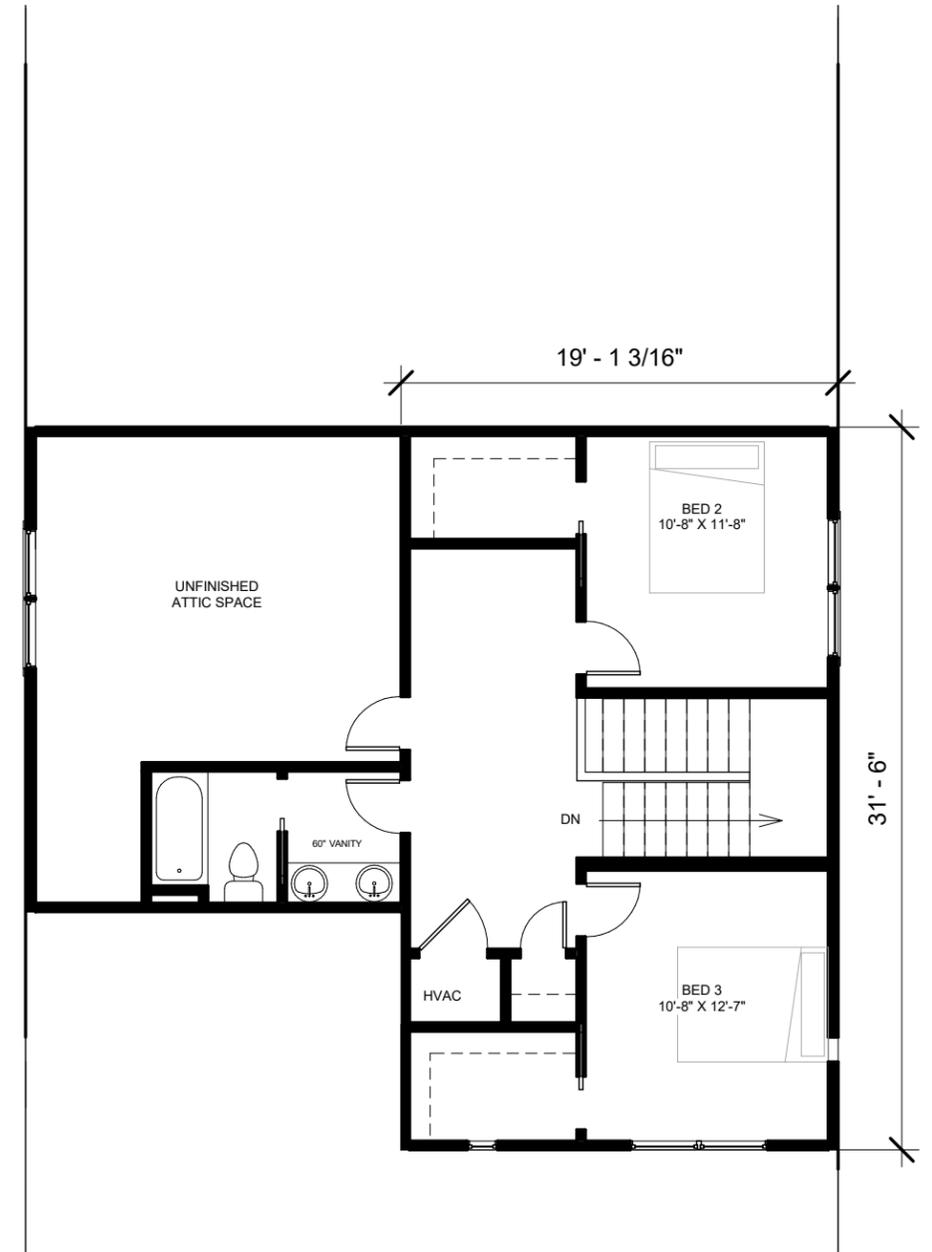
Basement Plan

2,416 Square Feet
 4 Bedrooms
 2.5 Bathrooms



1st Floor Plan

Floor Plans: 1/8"=1'-0"



2nd Floor Plan



1. Shingles

Owens Corning Duration 30 Yr.
Architectural Shingles
Color: Estate Gray

2. Soffits/Fascia

Aluminum Vented Soffit and
Fascia
Color: Black

3. Siding

LP Smart Siding Horizontal
Color: Snowscape White

4. Accent

LP Accent Panel
Color: Abyss Black

5. Windows

Quaker Casement Vinyl
Windows
Color: Black

6. Gutters/Downspouts

Prefinished Aluminum
Color: White

9. Stone

Versetta Stone Veneer Siding
Color: LedgeStone Mission Point

7. Front/Rear Door

Prefinished Fiberglass Full Lite
with Dividers
Color: Pacific Black

8. Garage Door (not pictured)

Amarr Hillcrest 2000 Model Shaker Door
with 1 Row of Glass
Color: Black

Annotated Front Elevation



Front Elevation (North)



Left Elevation (East)



Right Elevation (West)



Rear Elevation (South)

Building Elevations: 1/8" = 1'-0"

1



9



3



4



Exterior Material Palette



Existing Structure



940 Chelsea

936 Chelsea

932 Chelsea

928 CHELSEA

924 Chelsea

916 Chelsea



919 Chelsea

923 Chelsea

927 Chelsea

931 Chelsea

935 Chelsea

Neighborhood Context



TREE STUDY
SITE PLAN REVIEW
11-21-2022

PROPERTY LOCATION: 928 Chelsea

Install and maintain tree protection fence as indicated on preservation plan for all trees marked save.
Silt protection shall be installed in a trenchless manner within the critical root zone of any tree to be SAVED. (I.E woodchips, wattles, and hay bales)

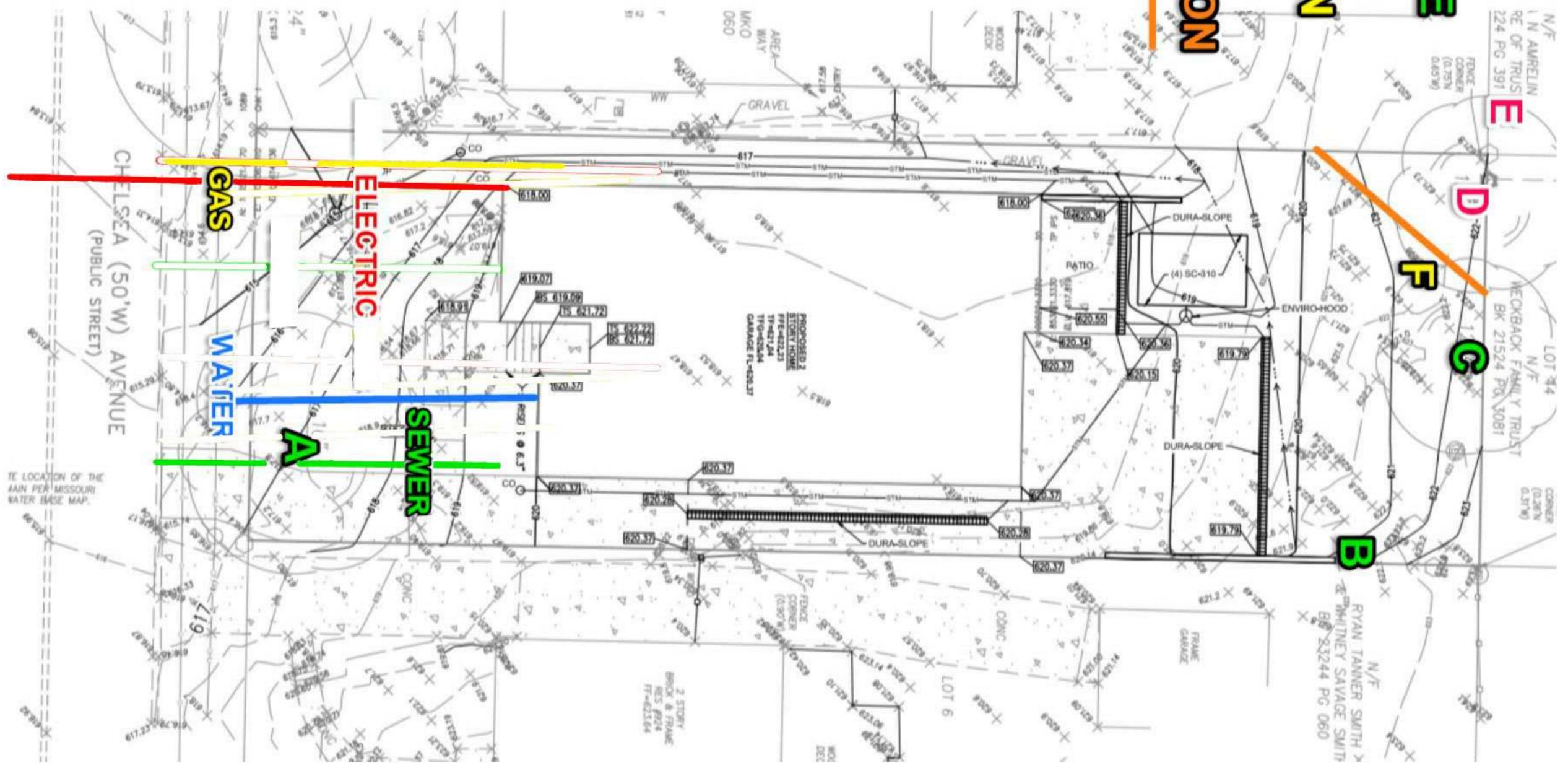
I hereby certify that I have viewed the premises and provided this professional opinion regarding the survivability of significant trees on this site and abutting the site. Attached is a site plan illustrating the recommended location of tree protection fencing. This fence is to remain erect throughout the construction project. All tree inspections were performed from the ground and are limited in scope. Tree and utility locations are approximate and locations of utilities are subject to change.

Craig R. Murphy
I.S.A Certified Arborist
IL-9645A



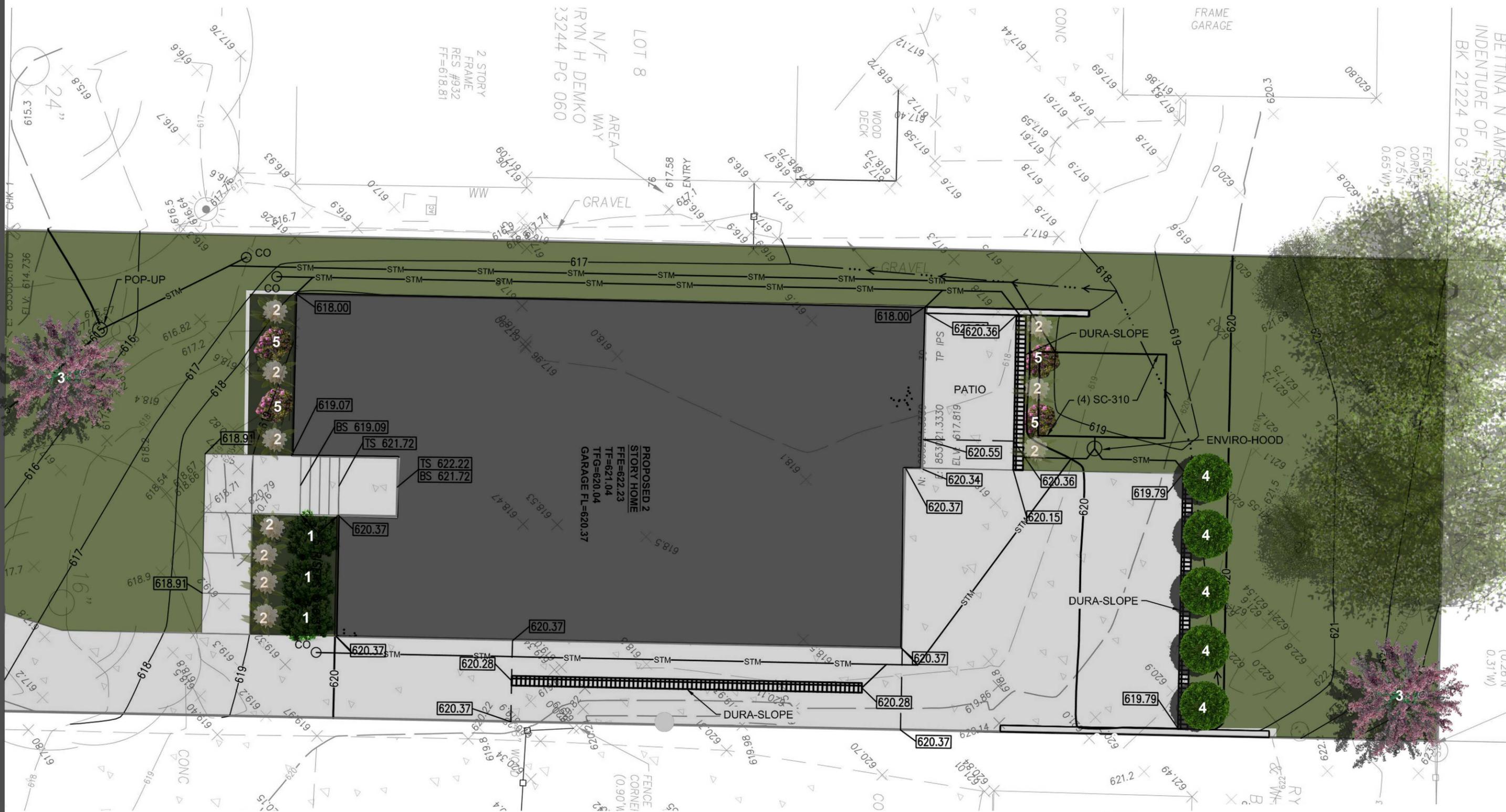
#	TREE SPECIES	D B H	SAVE/ REMOVE/ INSTALL	ADJOINING LOT	COMMENTS	VALUE	COND %	TOTAL CANOPY SQ FT
A	tulip poplar	17"	REMOVE		minor deadwood, heading cuts made on scaffold branches DRIVEWAY/ UTILITIES/ GRADING	\$2045	68	511
B	ash	2x10"	REMOVE		co-dominant, surface roots GRADING	\$530	65	301
C	red mulberry	3x8"	REMOVE		included bark, wetwood, storm damage, deadwood GRADING	\$200	48	237
D	boxelder	15"	SAVE		minor deadwood	\$515	66	318
E	arborvitae	3"	SAVE	YES	row of 3	cost to replace	70	----
F	eastern redbud	5"	REMOVE		lean, storm damage, deadwood CONDITION	\$100	35	16

A-SAVE
A-REMOVE
A-POOR
CONDITION
TREE
PROTECTION
FENCE



PLANTING SCHEDULE:

- 1. NORTHSTAR BOXWOOD
- 2. RHODENDRON CONLEC
- 3. 2.5 CAL EASTERN REDBUD
- 4. AMERICAN ARBORVITAE
- 5. 15 GAL SMOOTH HYDRANGEA



CHelsea AVE



BEUTINA NAMRETH
INDENTURE OF TRUST
BK 21224 PG 391

LOT 8
N/F
IRYN H DEMKO
23244 PG 060
AREA
WAY

2 STORY
FRAME
RES #932
FF=618.81

PROPOSED 2
STORY HOME
FFE=622.23
TF=621.04
TFG=620.04
GARAGE FL=620.37

FRAME
GARAGE

FENCE
CORNER
(0.75'N
0.65'W)

(0.26'N
0.31'W)